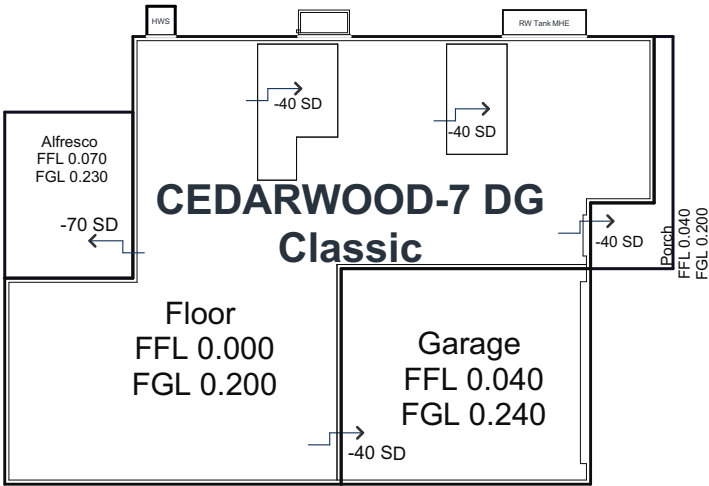
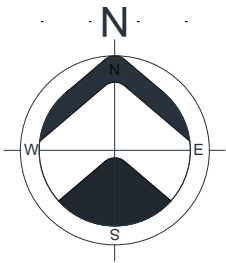




Layout No:	Layout Name
1	Cover Sheet
2	Site
3	Ground Floor
4	Elevation A/B
5	Elevation C/D
6	Section X/Y
7	Site Analysis
8	Fence & Retaining Layout
9	Retaining Wall Details
10	Waste & Drainage
11	Slab Setout Ground
12	Slab Details
13	Sub Floor Ground
14	Relocation Slab Cut Details
15	Ground Floor Electrical
16	Wall Section 1
17	Wall Section 2
18	Tile Specification
19	Ensuite - Laundry
20	Bath
21	Kitchen
22	Colour Application
23	Paint Application
24	Colour Perspectives
25	Landscape
26	Landscape Details
27	Solar Panel Layout
29	WHS Management Plan

REV: G. 31.05.2022



DRAWING REVISIONS
A. ##.##.#### INI - List variation here

NOTE: Also Refer To Index Sheet For Additional Plans.

- Waste & Drainage.
- Fencing & Retaining.
- Slab Setout.
- Site Analysis.
- Landscape.

GENERAL NOTES:

- Landscaping To The Front & Rear Yards As Indicated On The Landscape Plan.
- Retaining Wall Where Required By Builder.
- Provide An Edgeboard Survey To Confirm The Position Of The Home & Finished Floor Levels.
- Provide 1800mm High Chain Wire Temporary Safety Fencing In Accordance With Work Cover Requirements Under The Occupational Health & Safety Act To All Unfenced Boundaries Including Double Hinged Gates To Front Access.

WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960													
		Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au	ALL RIGHT RESERVED. This plan is the property of Allam Homes Pty Ltd. Copyright in this document is owned by Allam Homes Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes Pty Ltd.	CEDARWOOD-7 DG Classic	Site Address Allam Homes Pty Ltd Lot ### Street Name Suburb (Estate) NSW	SITE INSTRUCTIONS		Site		Last Amended	Scale		
						GENERAL:		0	01.09.20	Revision/Date/Version	Serial	CAE	1:200
						HOUSE:		0	01.07.20	G. 31.05.2022.V22	1CD71010 00	Job No.	Sheet
												Job No.	2

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K:\02_MHE\CEDARWOOD\Classic\Cedarwood-7 DG Classic.ppt

REV: G. 31.05.2022

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General Notes:

*Weather strips/seals to all external hung doors

Specification Notes:

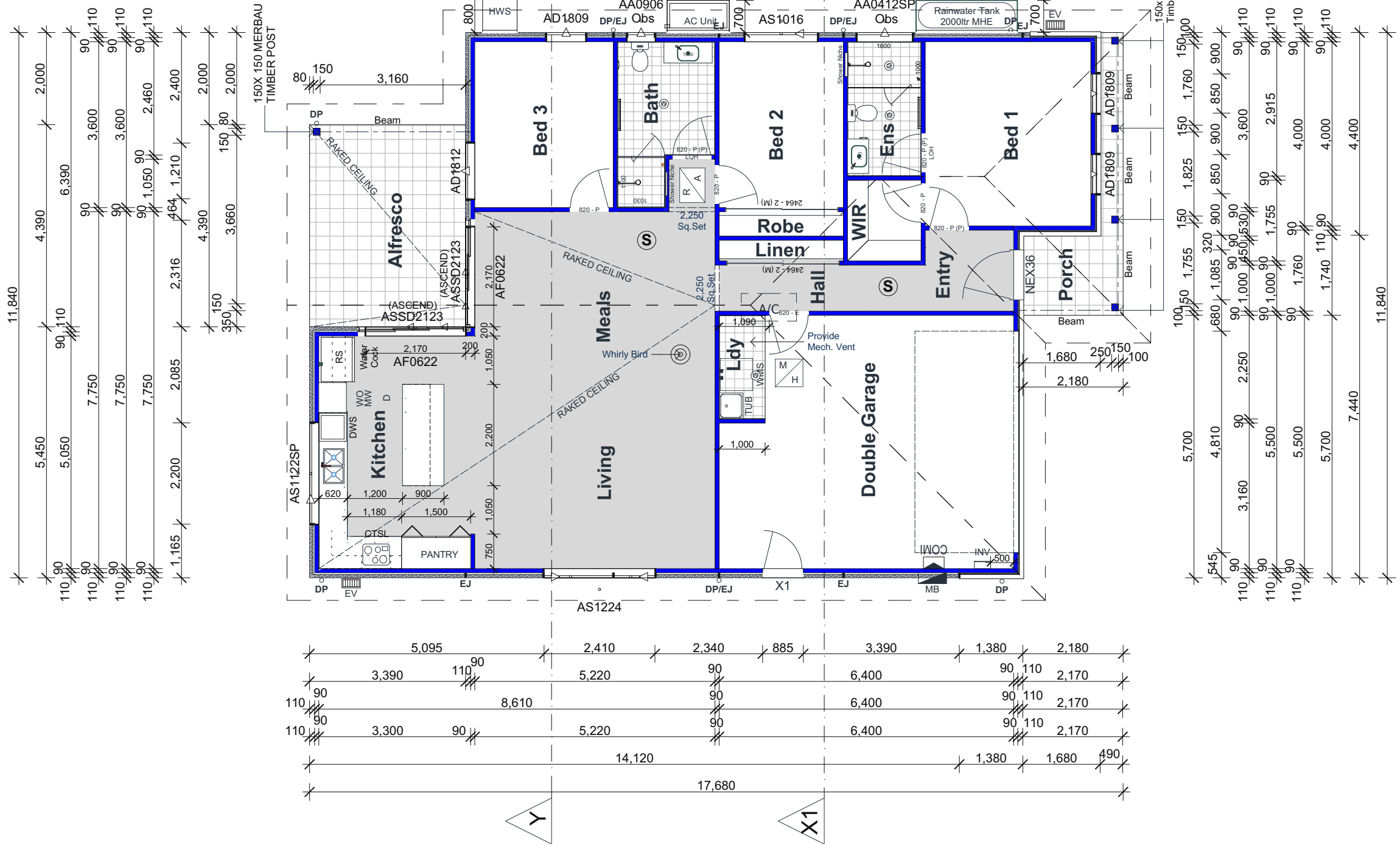
- A/C Air Con Fan Unit
- R/A Return Air
- M/H Man Hole
- Whirly Bird (300mm Throat Dia)
- EV Eave Vent (400x200mm)

* Internal Door Legend

E = Entrance
P = Passage
(P) = Privacy
W = Wardrobe
LOH = Lift Off Hinge

NOTE:
REFER TO SLAB SETOUT
FOR CONCRETE LAYOUT.

SHADED AREA DENOTES
VINYL FLOORING UNLESS
OTHERWISE SPECIFIED ON
THE JOB SPECIFIC COLOUR
SELECTION SHEET



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FLOOR AREAS	
ALFRESCO	14.88
GARAGE	37.62
GROUND	131.63
PORCH	5.99
	190.12 m²

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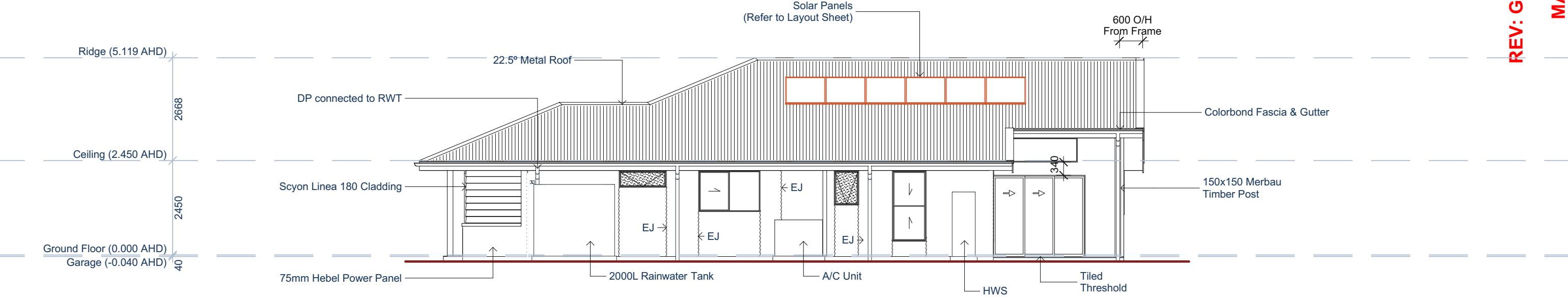
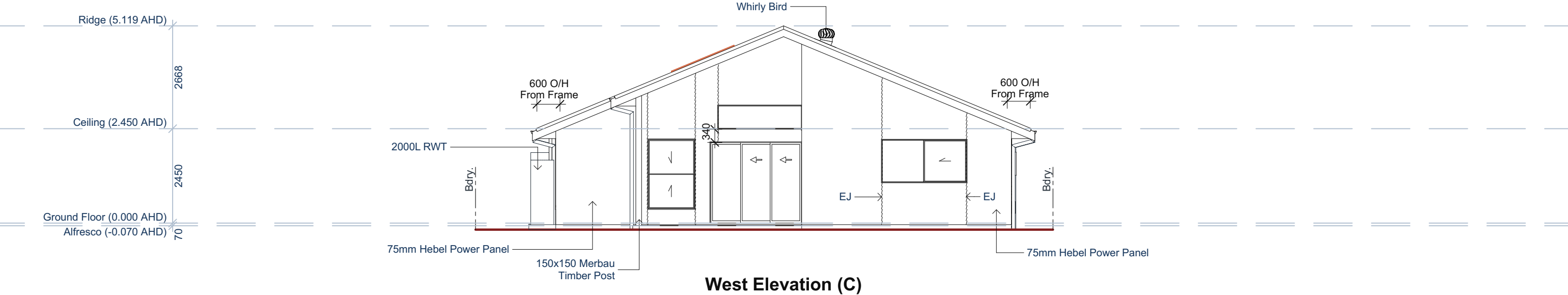
MONTEREY
CANDER HAVEN

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CEDARWOOD-7 DG
Classic

Site Address
Allam Homes Pty Ltd
Lot ### Street Name
Suburb (Estate) NSW

SITE INSTRUCTIONS		Ground Floor		Last Amended	Scale
GENERAL:	0	01.09.20	Revision/Date/Version	Job No	Sheet
HOUSE:	0	01.07.20	G. 31.05.2022.V22	1CD71010 00	Job No. 3



General Notes:

- * Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind downpipes where possible.
- * All verges 200mm unless otherwise noted
- * Provide cover strip to entry doors
- * Provide cover strip to entry doors
- * Refer to floor plans/window schedule for Restricted opening windows (BCA)

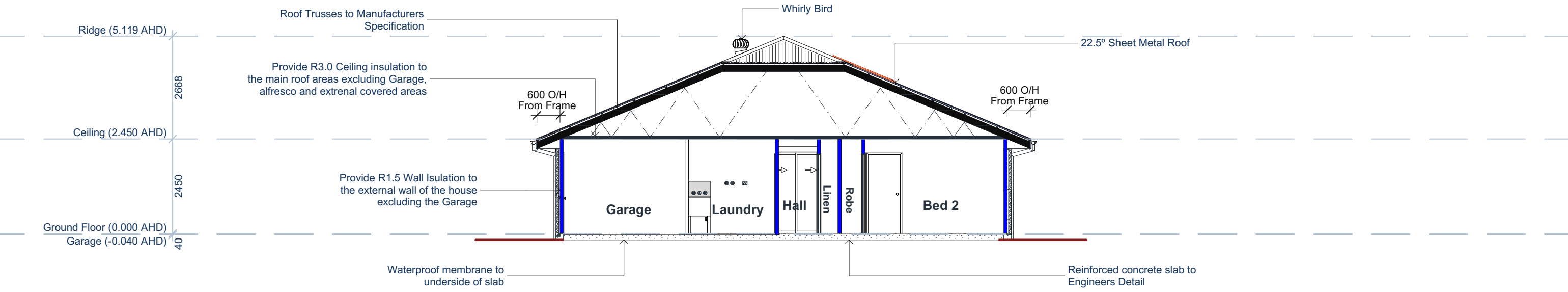
Indicates Obscure Glazing
(Refer floor plans/window schedule)

Glazing

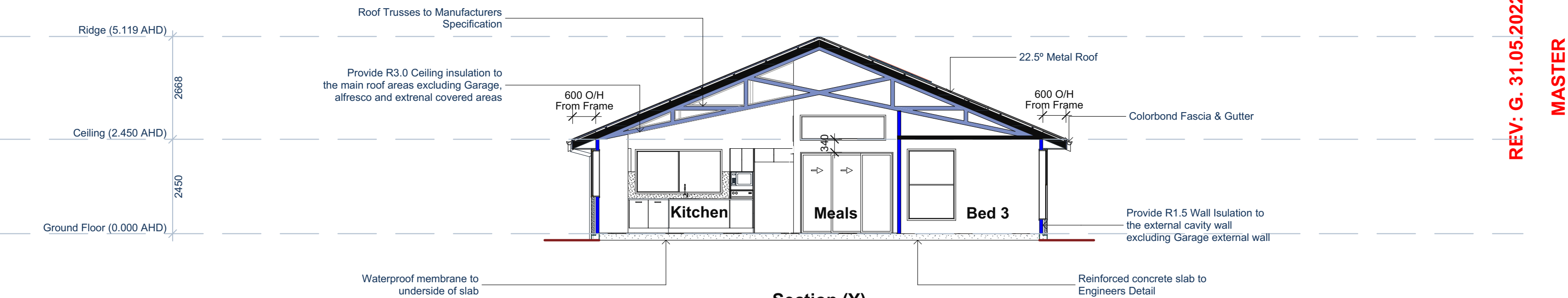
Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installation, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

REV: G. 31.05.2022
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Note:
Windows Generic values- U 6.70 / SHGC 0.57 to 0.70



Section (X)



Section (Y)

- CONDENSATION MANAGEMENT:**
- Exhaust Fans will be Compliant with NCC Clause 3.8.7.3.b (i), Australian Standard AS4200.1
 - Wall wrap to be in accordance with Clause 3.8.7.2 of NCC 2019 & AS4200.1 & Installed in Compliance with AS4200.2
- ROOF RAINWATER:**
- Provide overflow measures for gutters and downpipes: Compliant with NCC Clause 3.5.3
- STAIRS, RAMP & LANDINGS:**
- Internal & External: Bounded by walls: Compliant with NCC Clause 3.9.1
 - Internal & External: Finish of nosings/slip resistance: Compliant with NCC Clause 3.9.1.4
- BALLUSTRADES:**
- Internal/External: All installations: Compliant with NCC 3.9.2; Clause 3.9.2.3 & 3.9.2.4 as applicable for handrails
- ELECTRICAL:**
- Smoke Alarms: Installation to NCC Clause 3.7.5

LIGHTING & VENTILATION TABLE					
Zone Name	Floor Area Total	Natural Lighting Area Required (Min. 10%)	Proposed Natural Lighting Area	Natural Ventilation Area Required (Min. 5%)	Proposed Natural Ventilation Area
Bed 1	14.40	1.440	3.240	0.720	1.620
Bed 2	9.72	0.972	1.920	0.486	0.960
Kitchen	17.283	1.728	8.550	0.8.64	4.275
Living	21.98	2.198	2.160	1.099	1.080
Meals	18.00	1.800	2.640	0.900	1.320
Bed 3	11.718	1.172	1.920	0.467	0.960



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Level 3, Offices 36-42
11-13 Brookhollow Ave
ACN 003 798 883 BLN 28701.C
Ph 02 47322422 Fx 02 47211811
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CEDARWOOD-7 DG
Classic

Site Address
Allam Homes Pty Ltd
Lot ### Street Name
Suburb (Estate) NSW

SITE INSTRUCTIONS

GENERAL:

HOUSE:

Fence & Retaining Layout

0	01.09.20
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0	01.07.20
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Revision/Date/Version

. 31.05.2022.V22

Serial

1CD71010 00 |

Fast Amended	
CAE	

Job No	
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Scale
• 200

Sheet


8

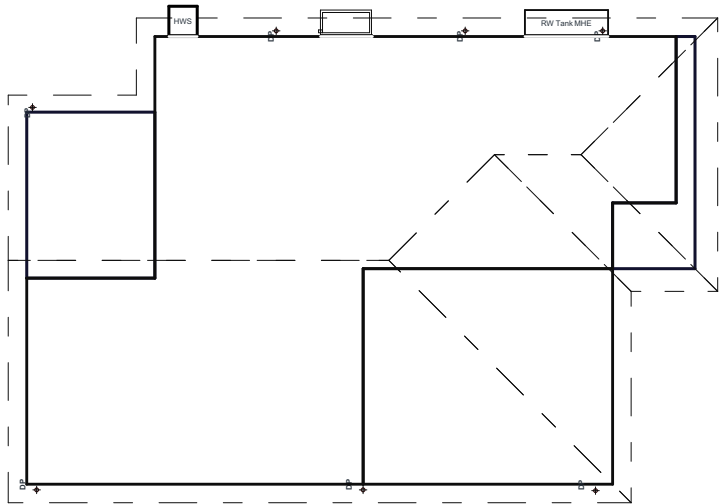
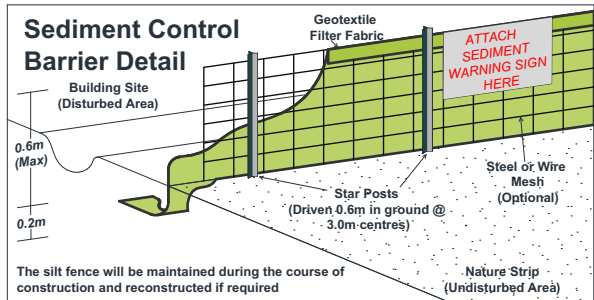
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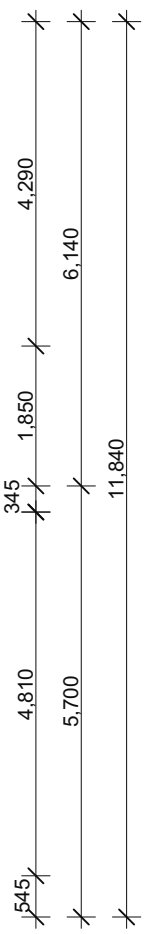
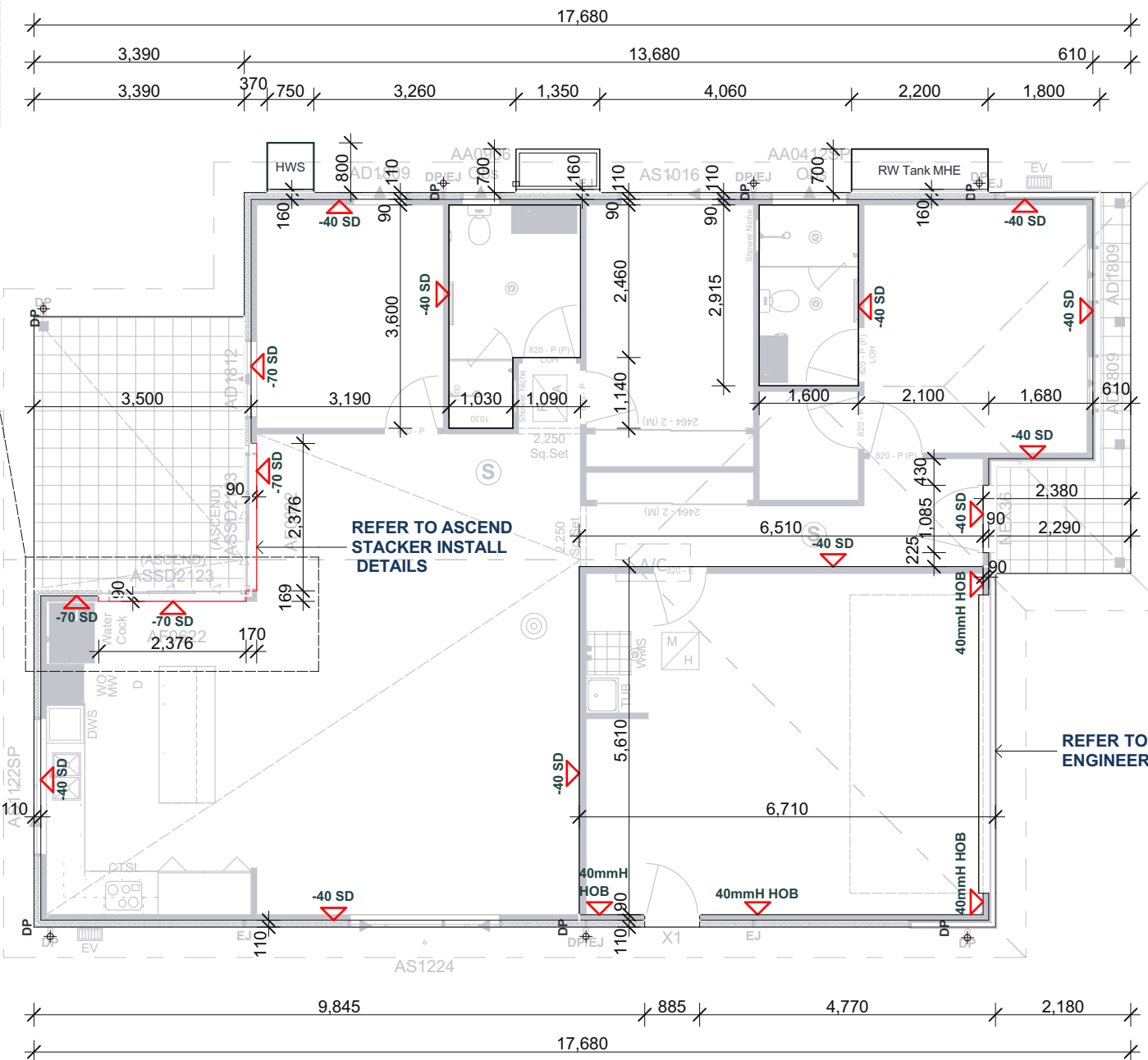
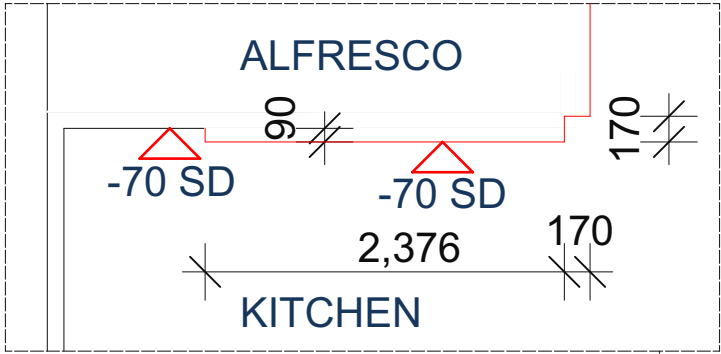
<p>WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960</p>													
 <p>ALLAM Lifestyle COMMUNITIES</p>	 <p>MONTEREY CAMDEN HAVEN</p>	<p>Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave. ACN 003 798 883 BLN 28701 C Ph 02 47322422 Fx 02 47211811 www.allam.com.au</p>	<p>ALL RIGHT RESERVED. This plan is the property of Allam Homes Pty Ltd. Copyright in this document is owned by Allam Homes Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes Pty Ltd.</p>	<p>CEDARWOOD-7 DG</p> <p><i>Classic</i></p>	<p>Site Address Allam Homes Pty Ltd Lot ### Street Name Suburb (Estate) NSW</p>	<p>SITE INSTRUCTIONS</p>	<p>Retaining Wall Details</p>				<p>Last Amended CAE</p>	<p>Scale REFER TO DETAIL</p>	
						<p>GENERAL:</p>	<p>0</p>	<p>01.09.20</p>	<p>Revision/Date/Version</p>		<p>Serial</p>	<p>Job No</p>	<p>Sheet</p>
						<p>HOUSE:</p>	<p>0</p>	<p>01.07.20</p>	<p>G. 31.05.2022.V22</p>		<p>1CD71010 00</p>	<p>Job No.</p>	<p>9</p>
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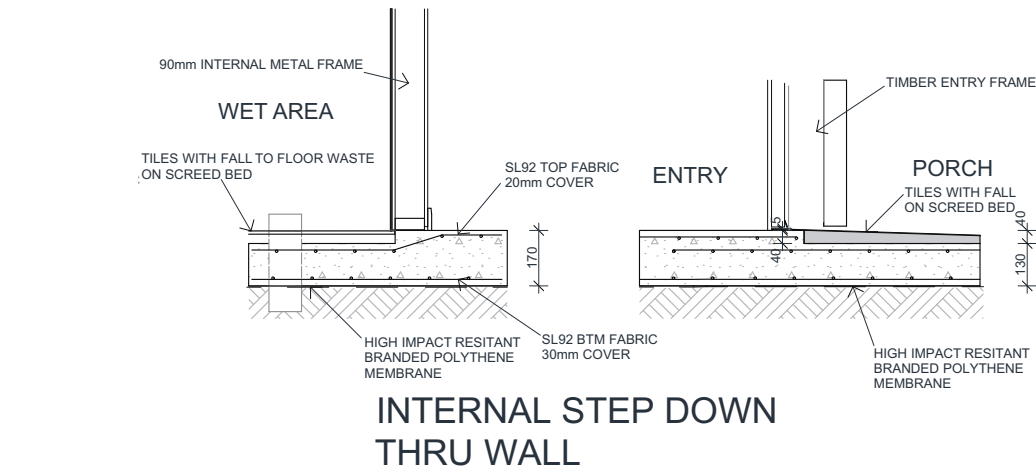


Termite shields
Shields, barriers or the like must be provided in accordance with AS 3660.1-2000 Termite management—new building work and structures, as in force on 1 September 2005, to protect any structural members that are susceptible to attack by termites.

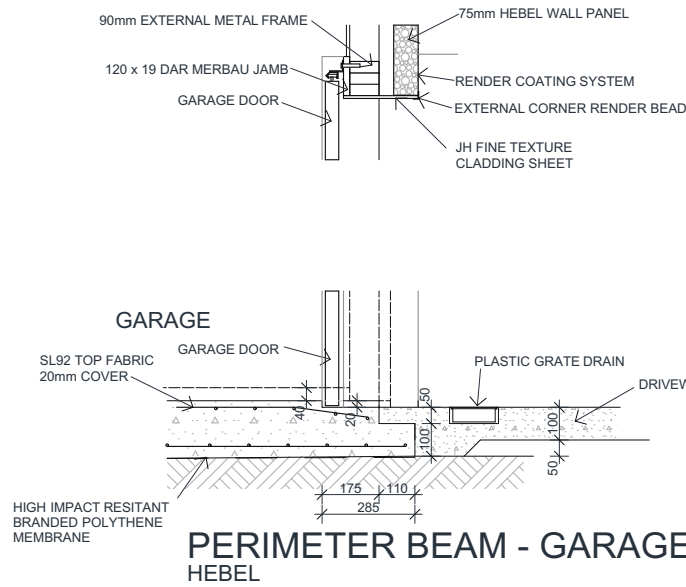
NOTE: All Measurements Are Taken From External Edge Of Slab

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						Slab Setout Ground				
						GENERAL:	0	01.09.20		
HOUSE:	0	01.07.20	G. 31.05.2022.V22	1CD71010 00	Job No.	11				

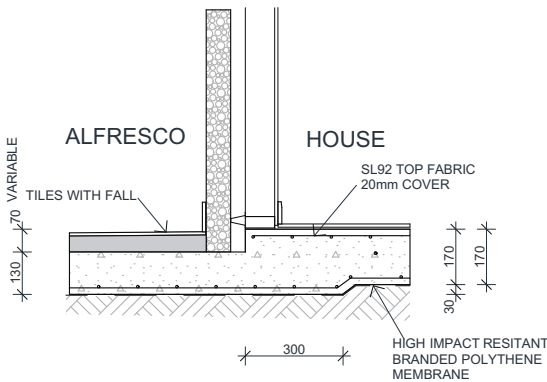
REV: G. 31.05.2022
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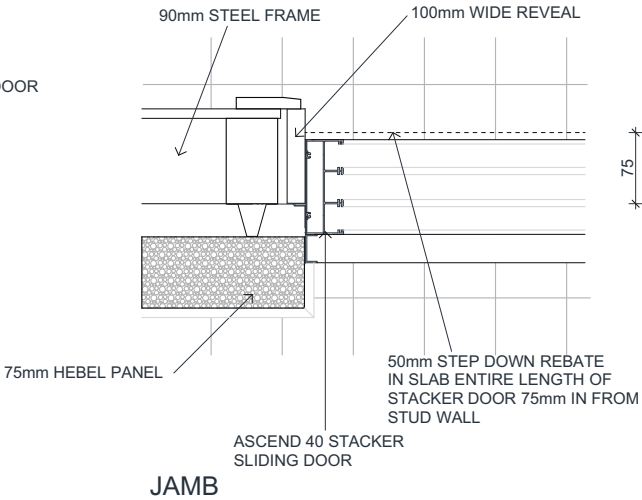
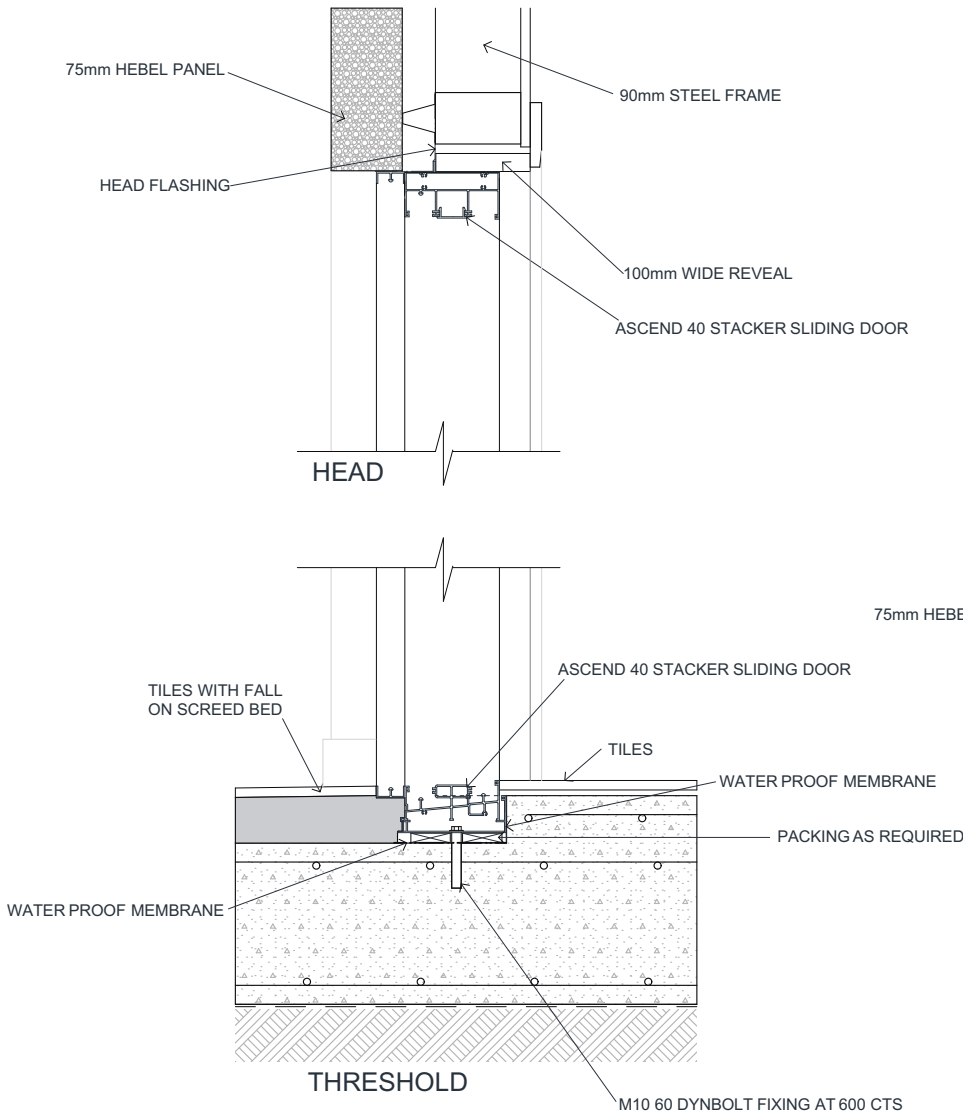
INTERNAL STEP DOWN THRU WALL



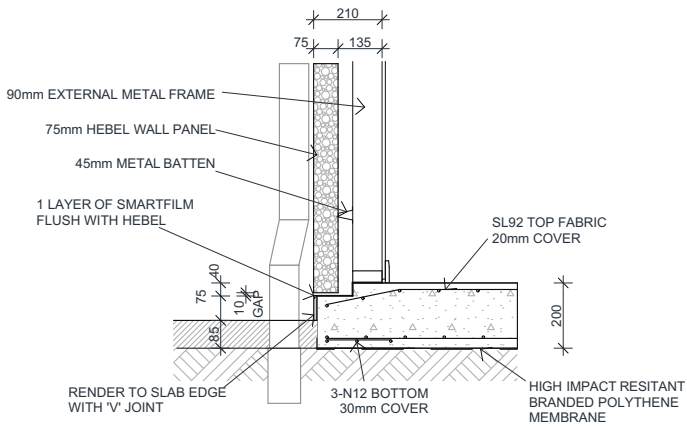
PERIMETER BEAM - GARAGE HEBEL



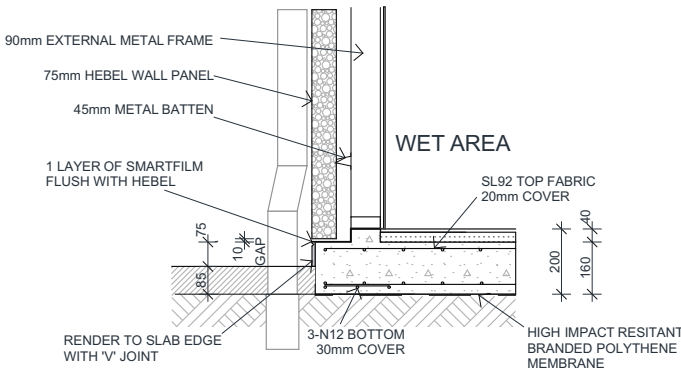
EXTERNAL STEP DOWN THRU ALFRESCO WALL



ASCEND STACKER SLIDING DOOR INSTALLATION (HEBEL)




PERIMETER BEAM - HOUSE HEBEL




REV: G. 31.05.2022


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- 


Ceiling Compact Fluro
- 


Downlight LED
- 2W




Denotes two way control
- 


Internal Wall @ 1900
- 


External Wall @ 1900
- 


Light/Heat/Fan (Ducted To External)
- 


Light Switch
- 


LED Light


- 


Data Point @ 300 (above FL)
- 


T.V. Point @ 300 (above FL)
- 


Electric Hot Water System
- 


Smoke Alarm
- 


Air-conditioner Fan Unit
- 


Meter Box
- 


Internal COMS
- 


Alarm Key Panel
- 

Alarm Control Box
- 

Single GPO
- 

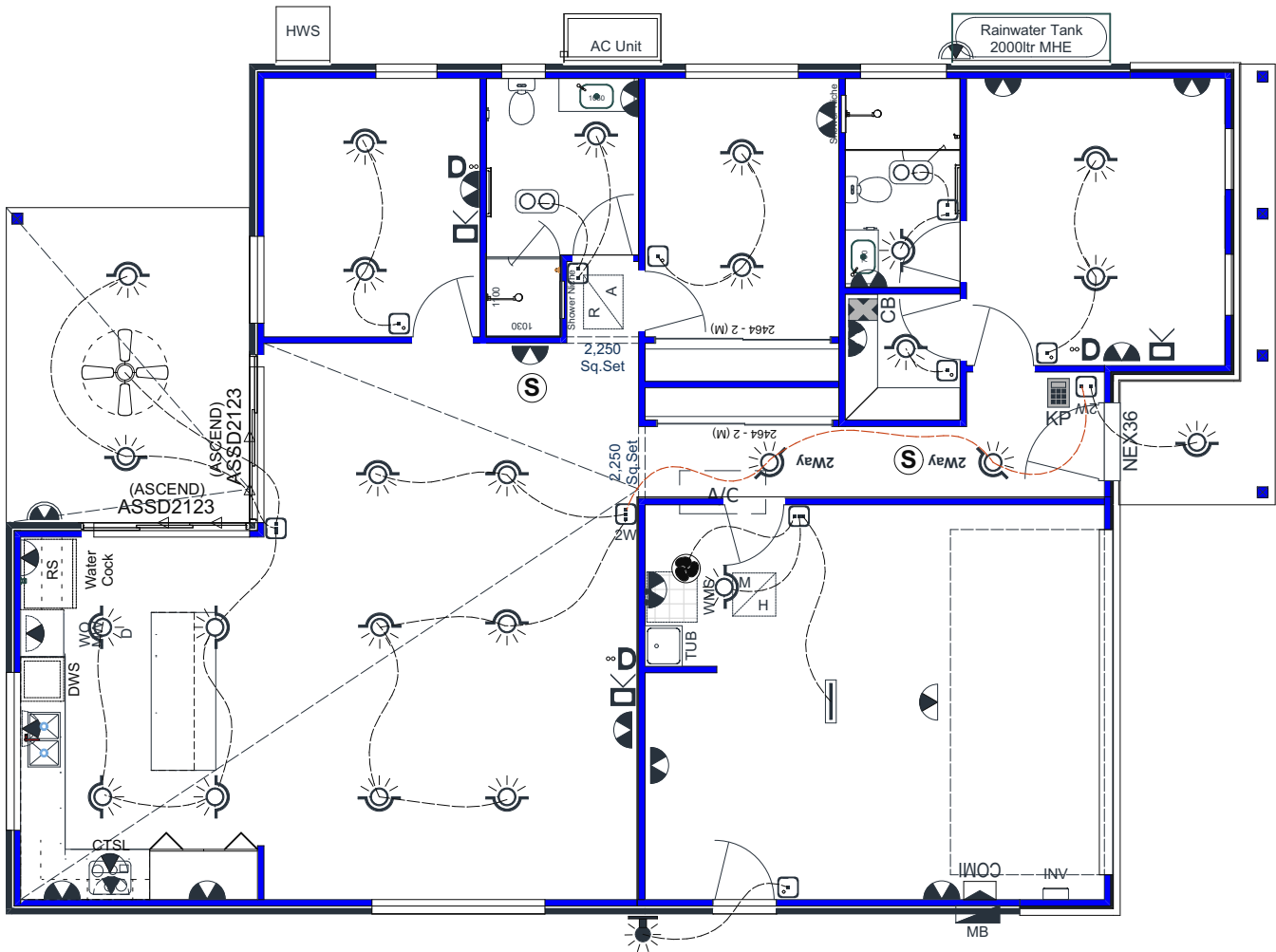
Double GPO
- 

Single Ext GPO
- 

Double Ext GPO
- 

Ceiling Fan

The final location of ceiling penetrations and light fittings are subject to site conditions



Actron Air Standard Unit Specification (Single Phase)

Model: CRA130S / EVA130S

Net (rated) Capacity (KW) Cooling: 12.24 KW

Heating: 12.17 KW

EER Rated Cooling: 3.26 KW

COP Rated Heating: 3.64 KW

General Notes: NCC Approval

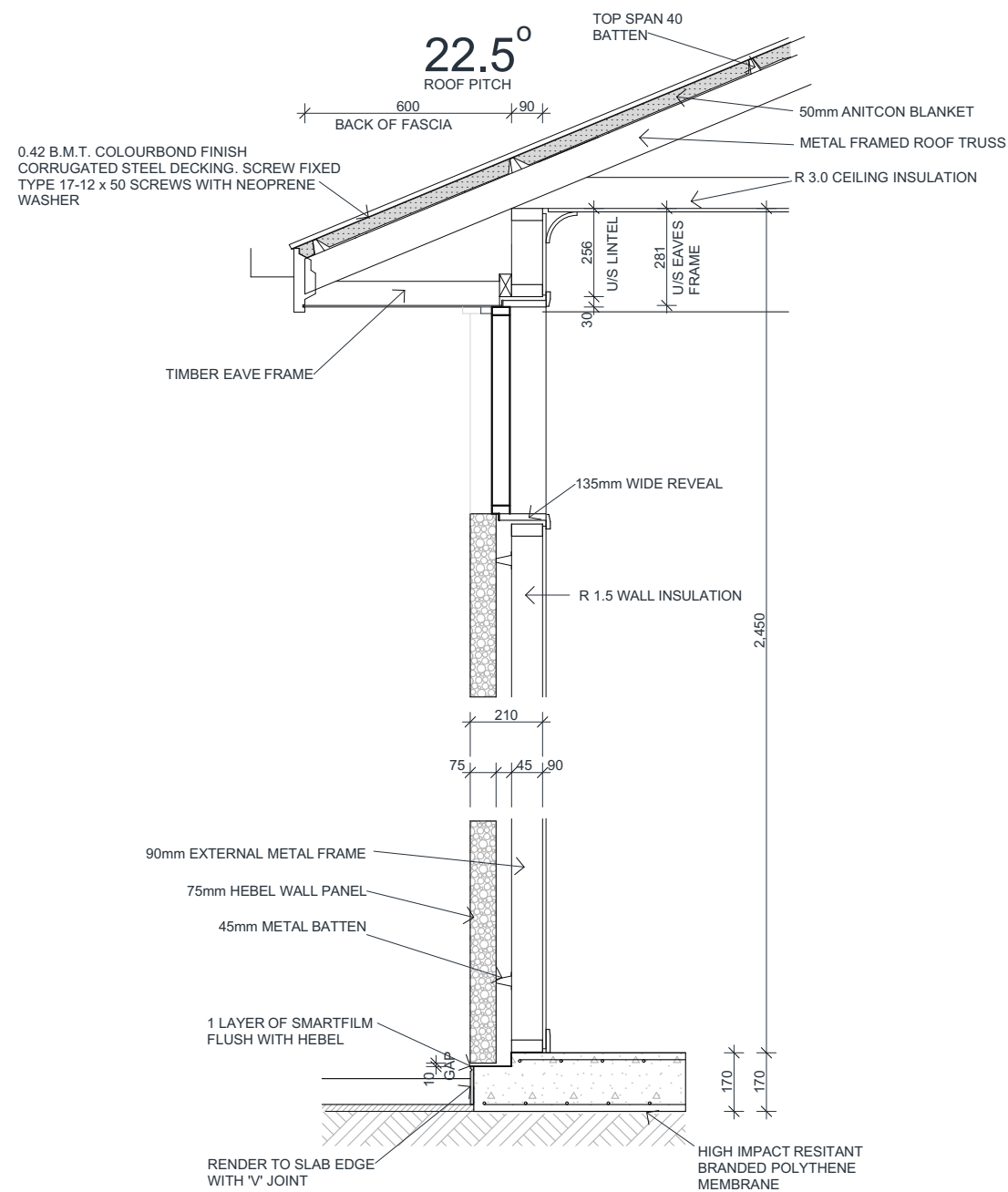
1. All heights measured from the main floor level unless otherwise noted.
2. Light switches @ 1300mm above FFL wall mounted.
3. Top of Meter box to be 1900mm maximum above ground level.
4. Provide Smoke Alarms in accordance with NCCS Vol 2: Clause 3.7.5
5. Double GPO to meter box.

Electrical wiring

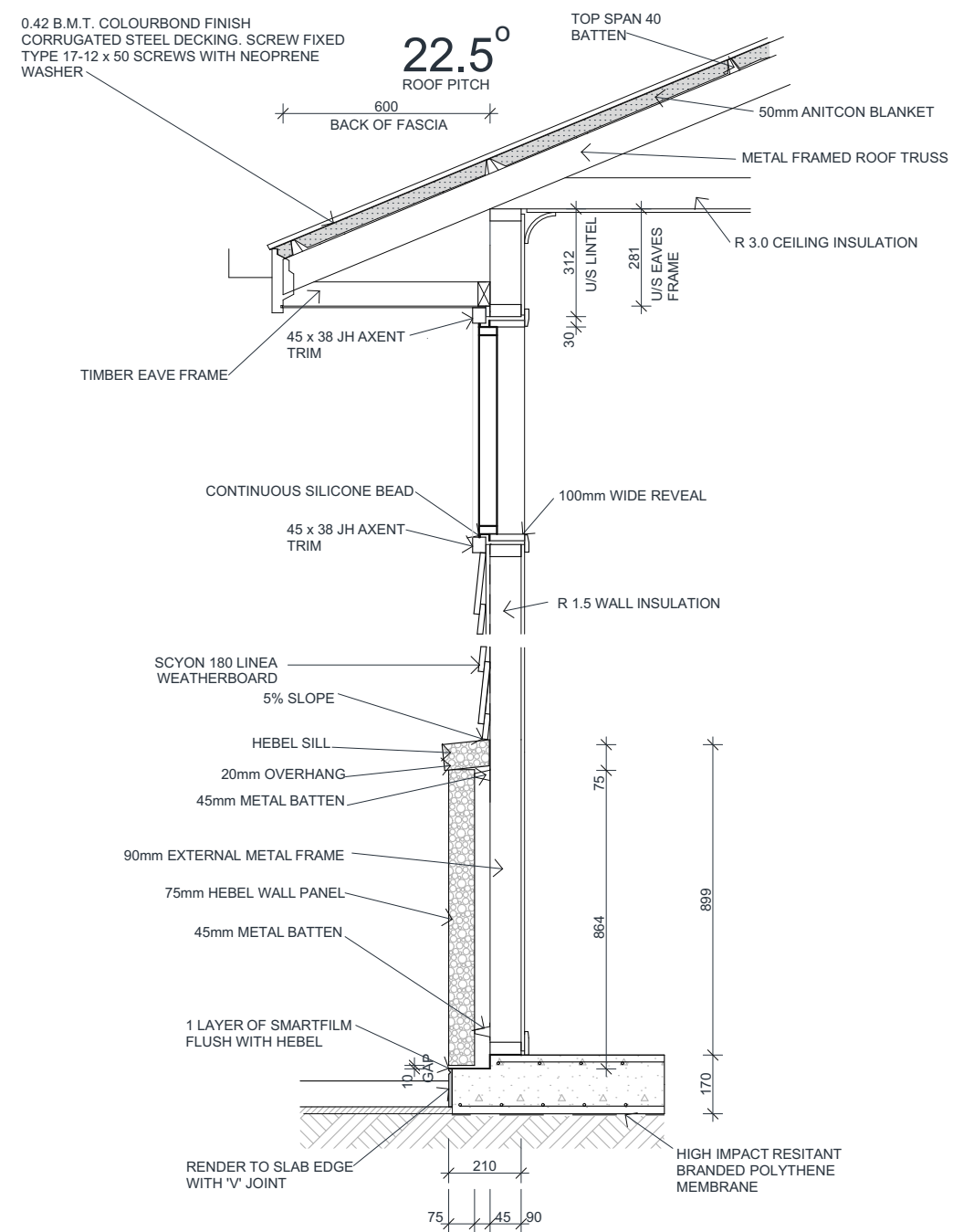
The electrical wiring in a manufactured home must comply with the requirements of AS/NZS 3000:2000.

GPO Height Table			
Room Location	Item	Height (mm)	
Kitchen	GPO	1100	
	REF	2050	
	RH	1900	
	DW	500	
	MW	600/1200	
Laundry	GPO	1300	
Bath/Ens/Pow	GPO	1300	
Garage	GPO	1200	
	Roller Door	2000	
	Panel Door	Ceiling	
Other	External GPO	1000	

Note :
All general room GPO's are to measure 300mm above main floor level unless otherwise noted.



PERIMETER BEAM - HOUSE
TYPE A - FULL HEBEL 75mm WALL

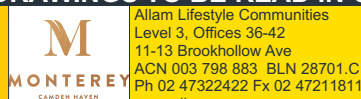


PERIMETER BEAM - HOUSE
TYPE C - COMPOSITE HEBEL (75mm) & SCYLON LINEA 180 (16mm) WALL

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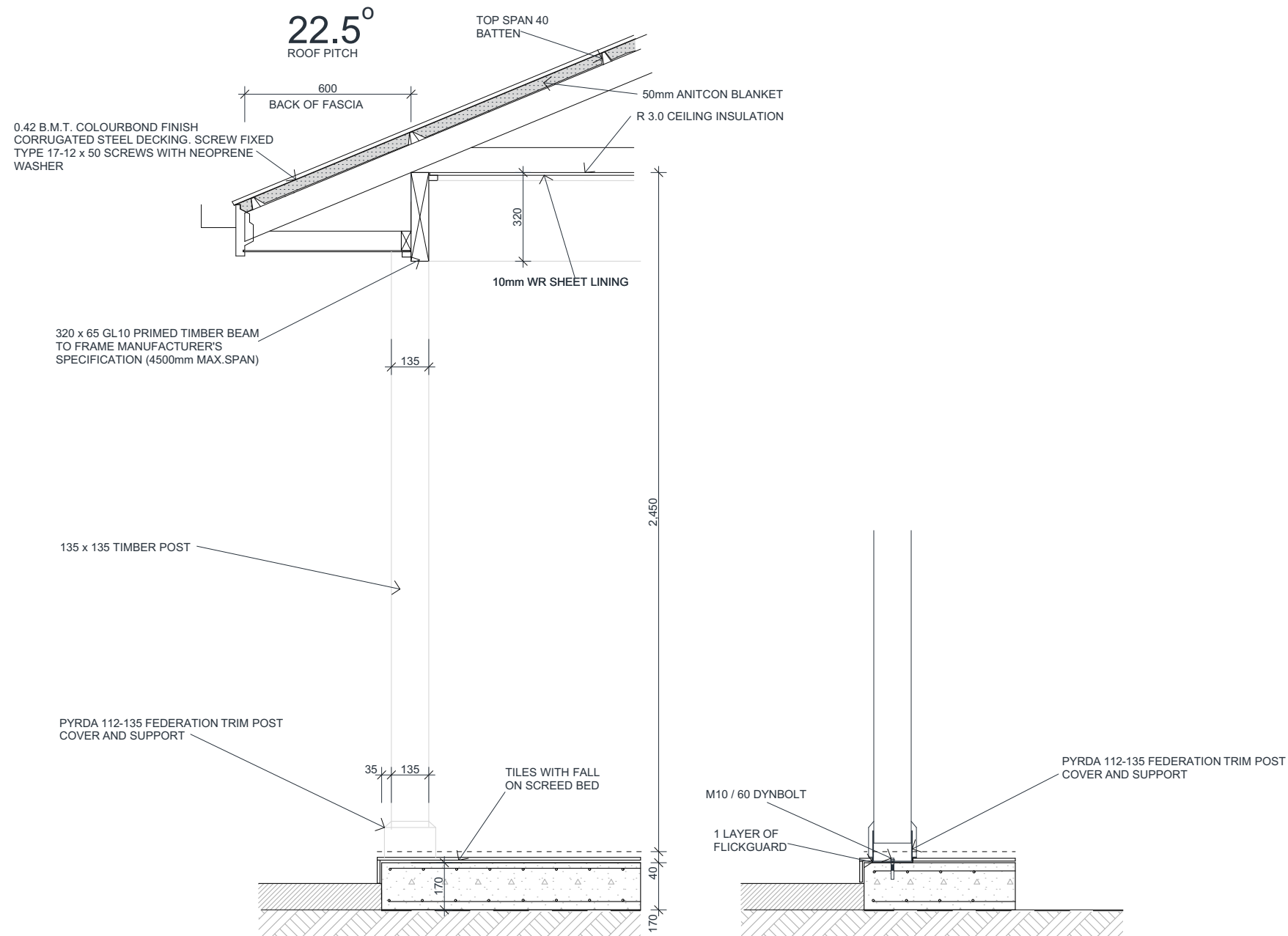
ALLAM LIFESTYLE COMMUNITIES
Level 3, Offices 36-42
11-13 Brookhollow Ave
ACN 003 798 883 BLN 28701.C
Ph 02 47322422 Fx 02 47211811
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CEDARWOOD-7 DG
Classic

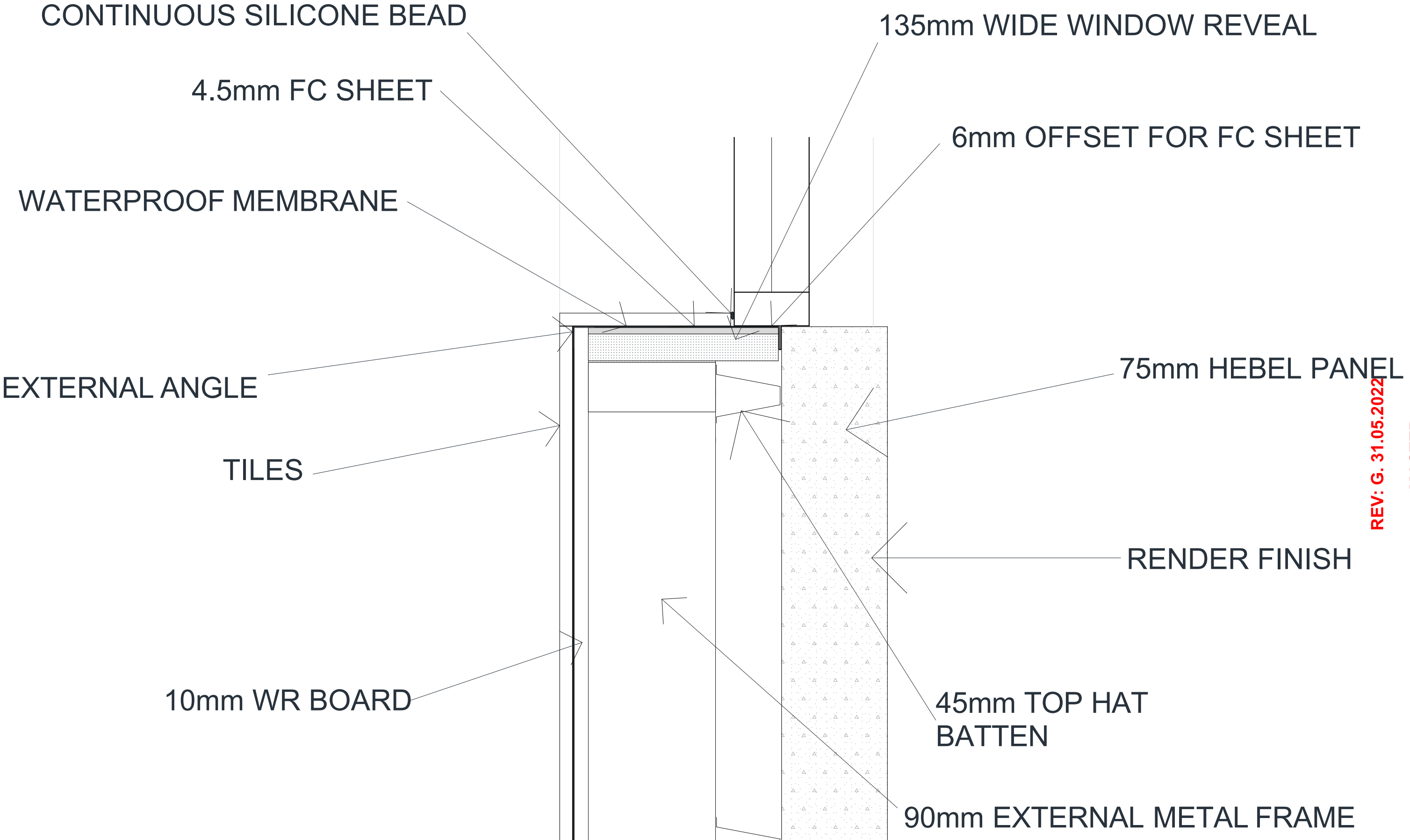
Site Address
Allam Homes Pty Ltd
Lot ### Street Name
Suburb (Estate) NSW

SITE INSTRUCTIONS				Last Amended		Scale
GENERAL:				CAE		REFER TO DETAIL
HOUSE:				Job No.		Sheet
0	01.09.20	Revision/Date/Version	Serial	Job No.		Sheet
0	01.07.20	G. 31.05.2022.V22	1CD71010 00	Job No.		16



REV: G. 31.05.2022

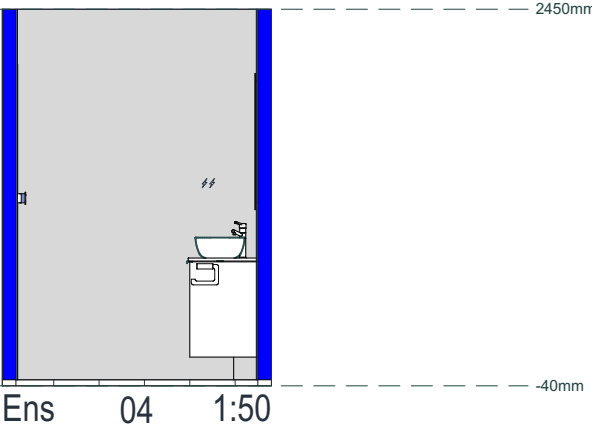
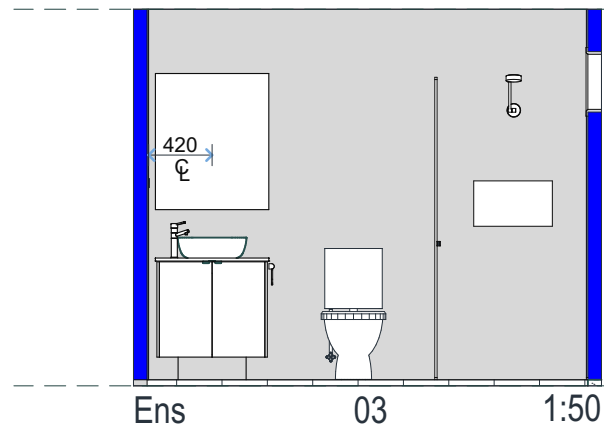
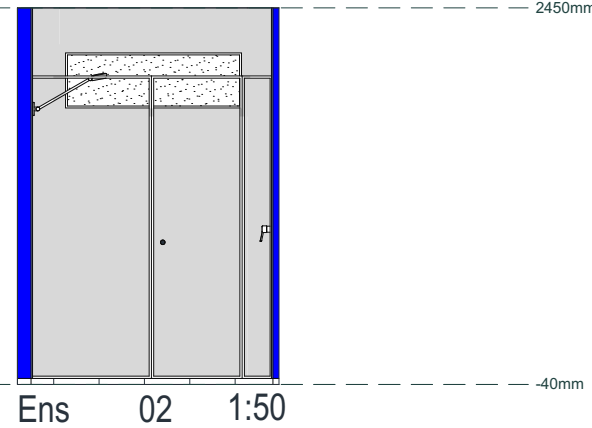
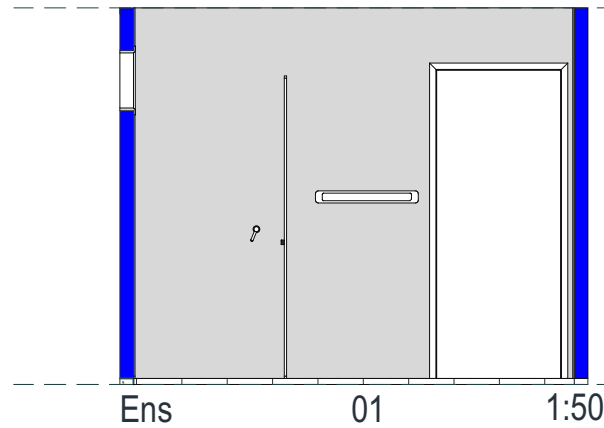
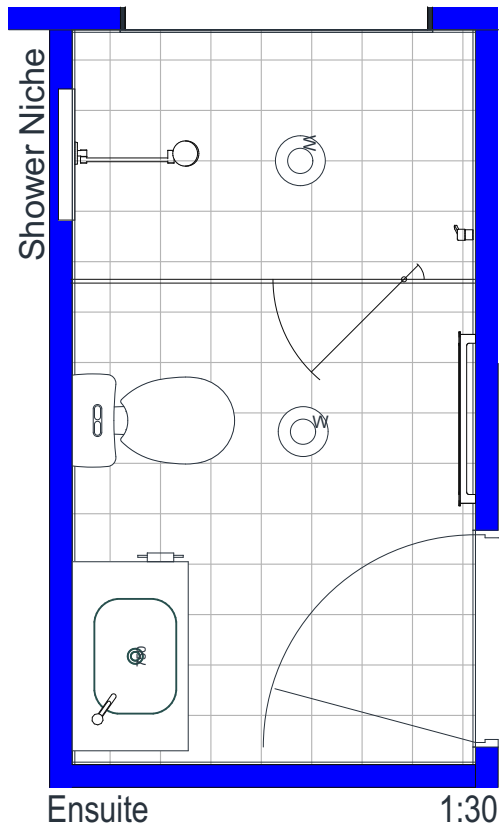
MASTER



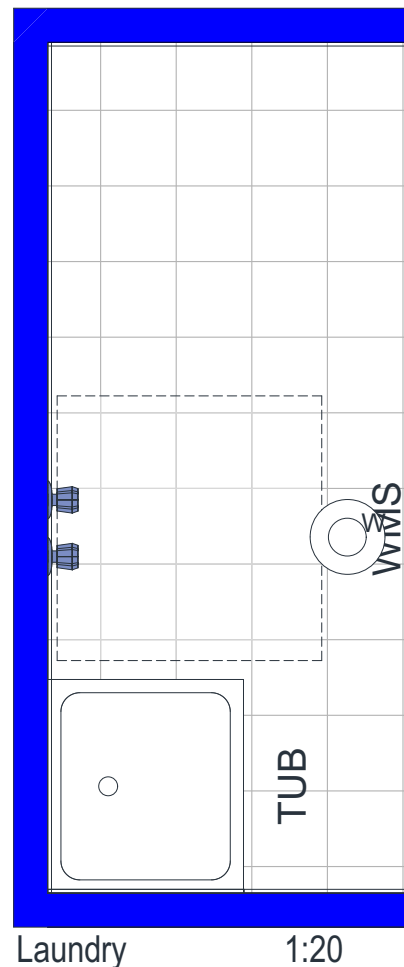
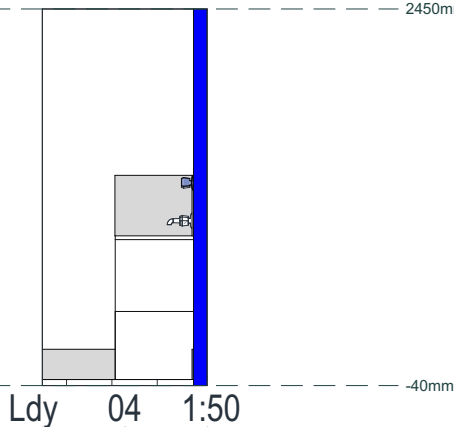
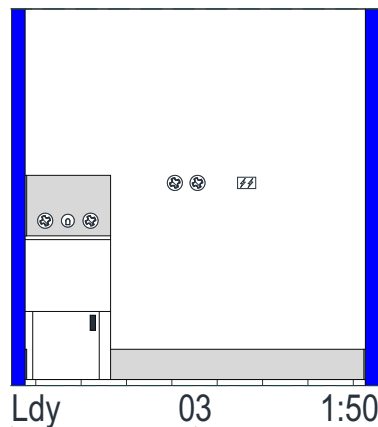
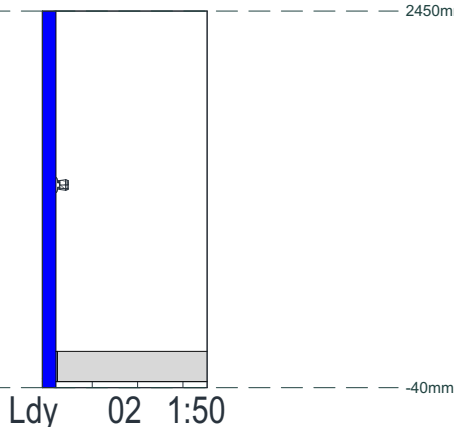
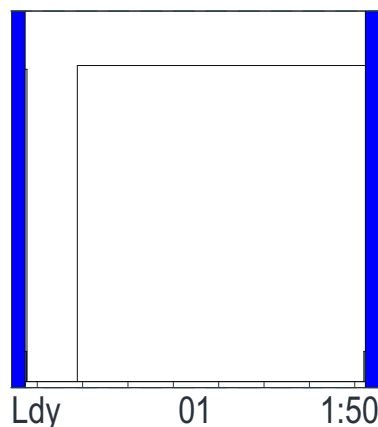
TYPE A - FULL HEBEL 75mm WALL

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E N S U I T E



L A U N D R Y



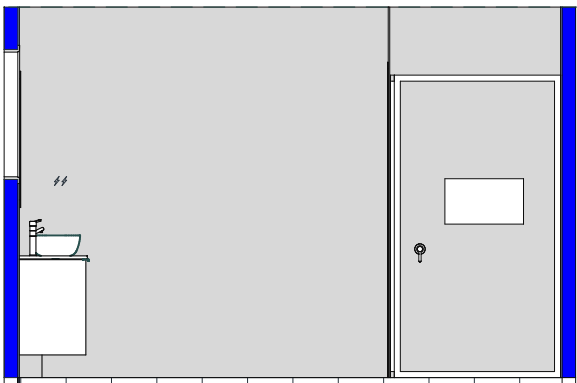
REV: G. 31.05.2022
MASTER

Wet Area Height Table	
Item	Height (mm)
Shower Screen	2100
Toilet Roll Holder	700
Towel Rail/Ring	1050
WC isolating tap	150
Shower Tap Mixer	950
Shower Rose	1800
Bath Taps Mixer/Spout	650
Laundry Taps (Tub)	1050
Laundry Taps (Washing Mach.)	1435

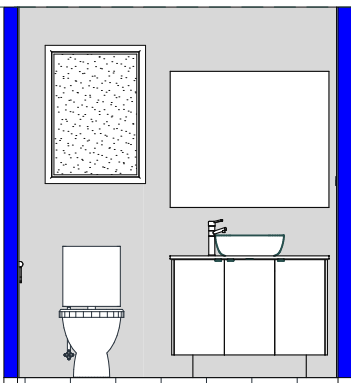
Note:
Refer To Job Specific Details &
Colour Application Sheets For
Tile Layout/Application.

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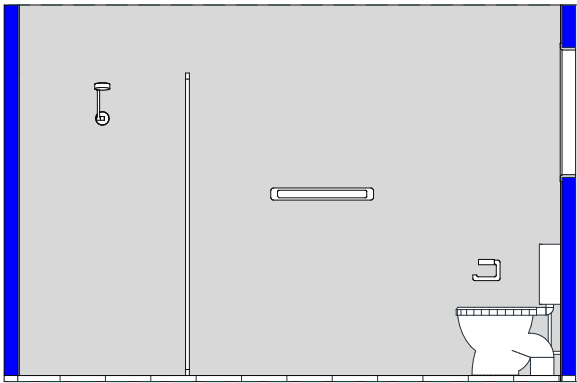
BATHROOM



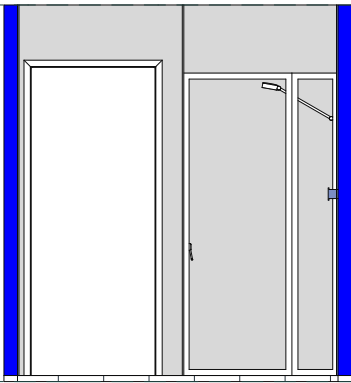
Bath 01 1:50



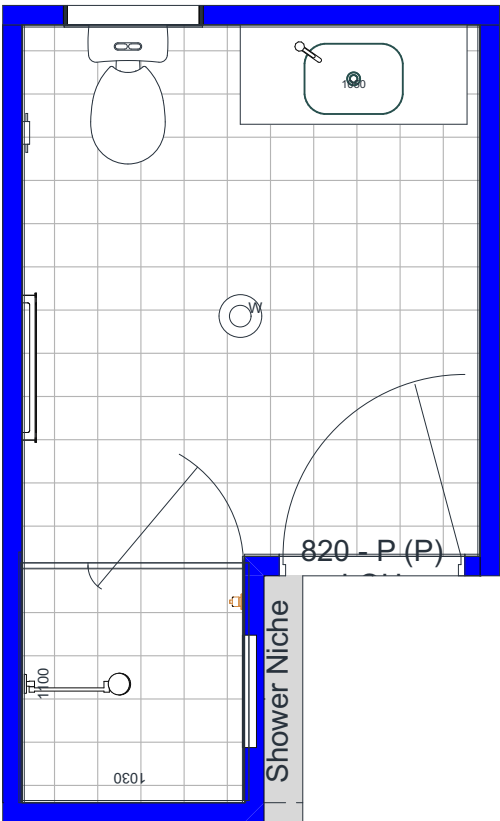
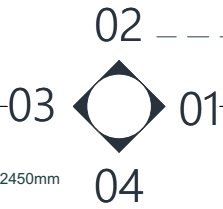
Bath 02 1:50



Bath 03 1:50



Bath 04 1:50

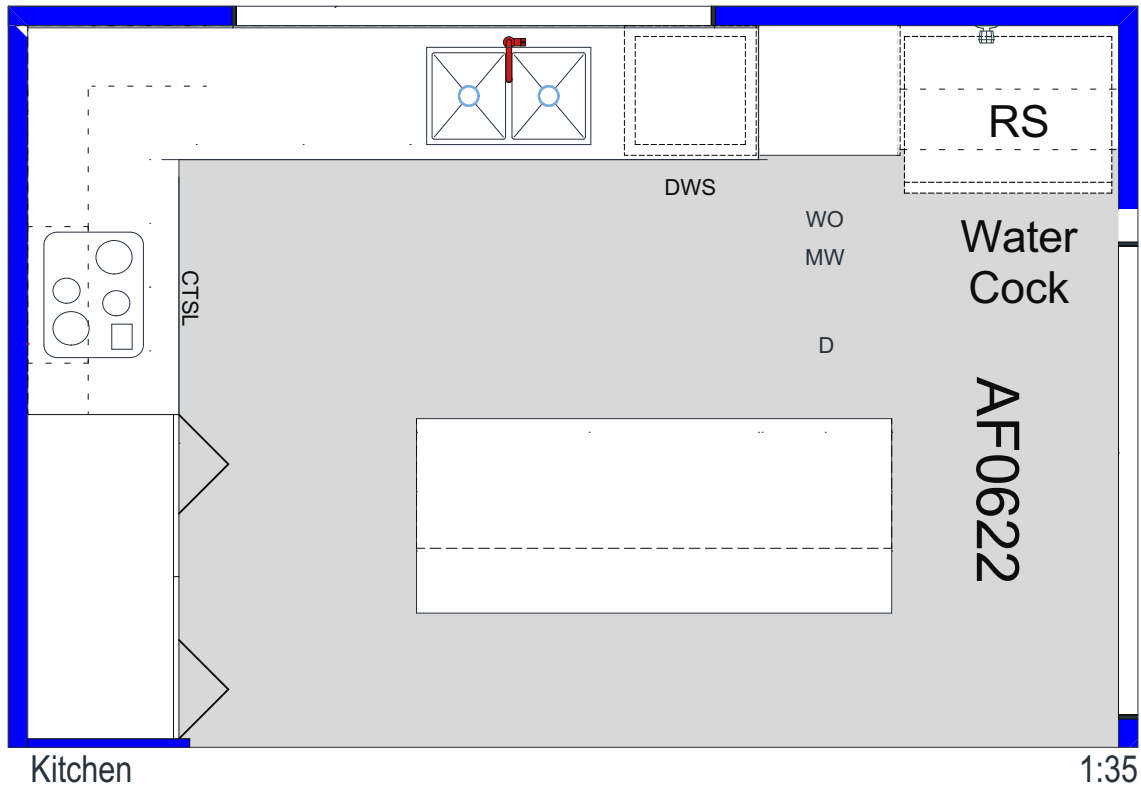
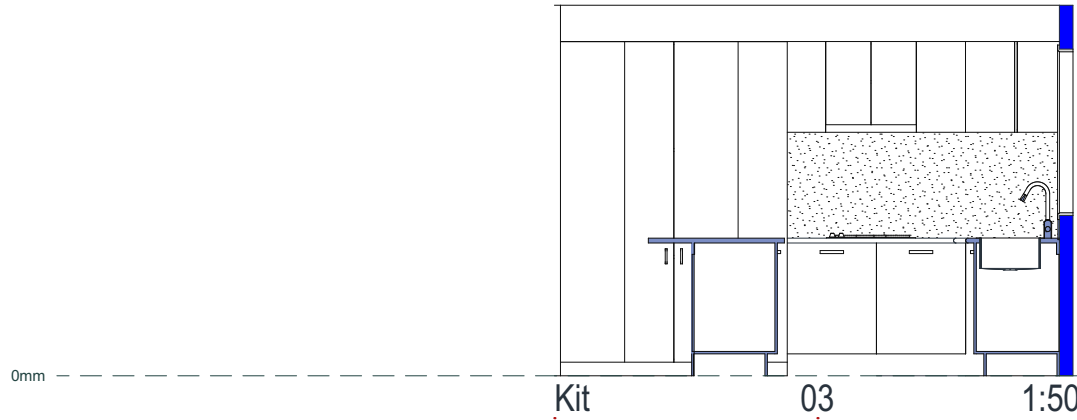
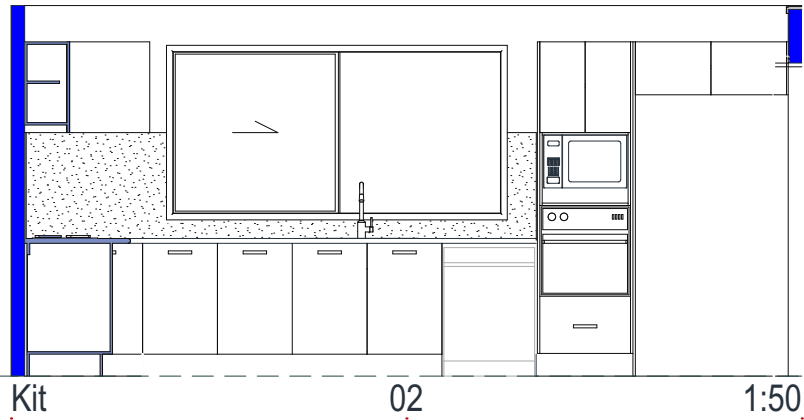
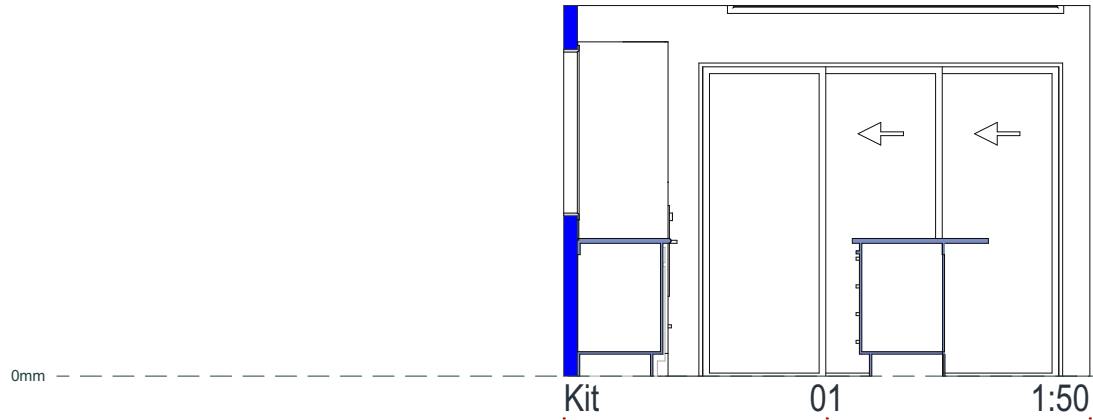


Bath 1:35

Wet Area Height Table	
Item	Height (mm)
Shower Screen	2100
Toilet Roll Holder	700
Towel Rail/Ring	1050
WC isolating tap	150
Shower Tap Mixer	950
Shower Rose	1800
Bath Taps Mixer/Spout	650
Laundry Taps (Tub)	1050
Laundry Taps (Washing Mach.)	1435

Note:
Refer To Job Specific Details & Colour Application Sheets For Tile Layout/Application.

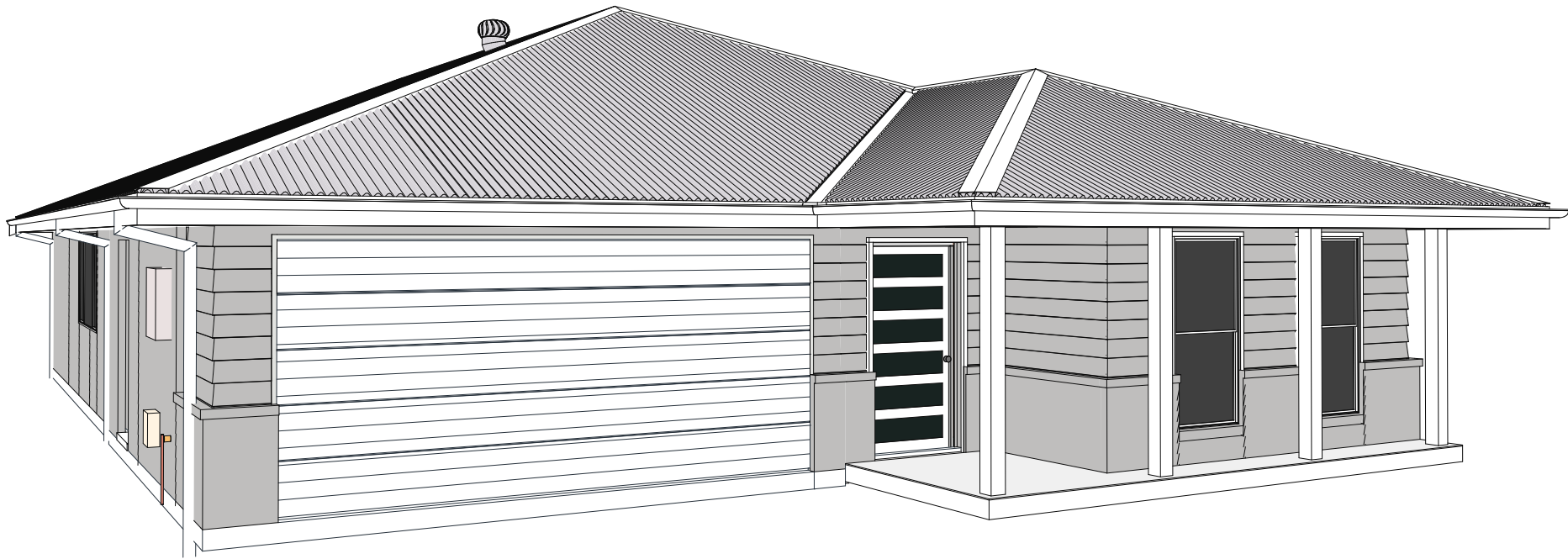
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MASTER



Note:
Refer to specification level detail for
Layout/heights.

REV: 00G. 31.05.2022
MASTER

02
03 01
04

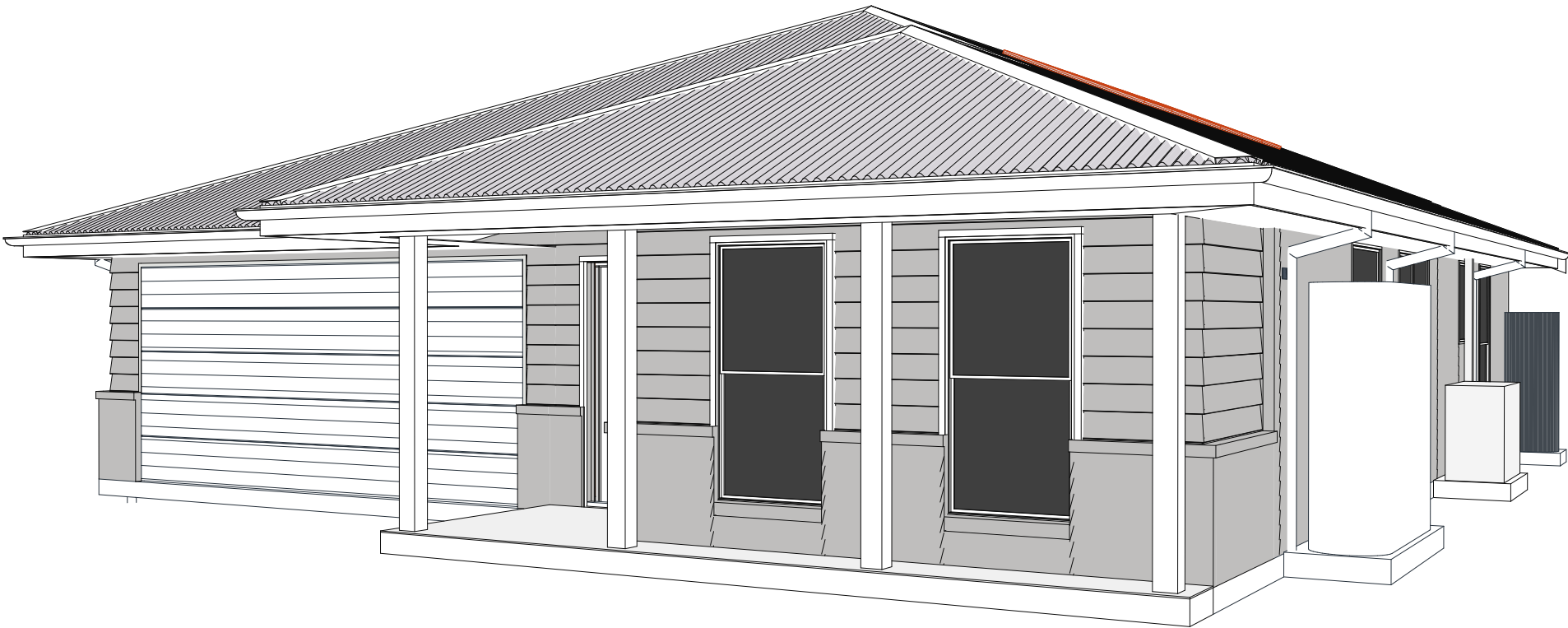


Finishes Legend

External Scheme - ##

Cladding:

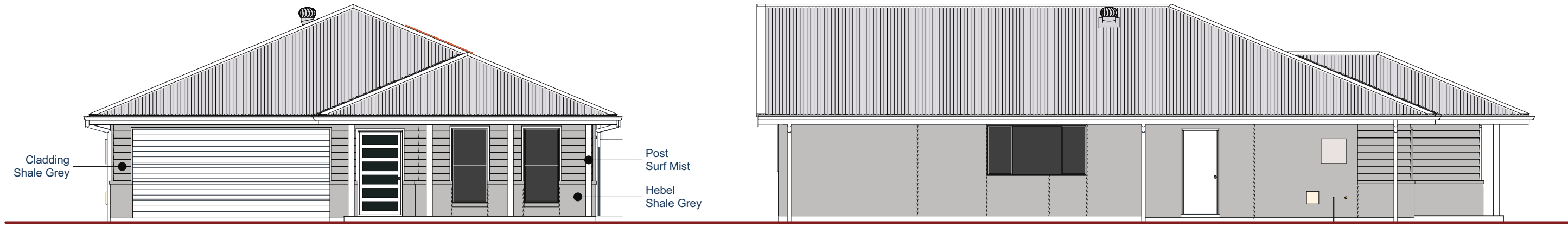
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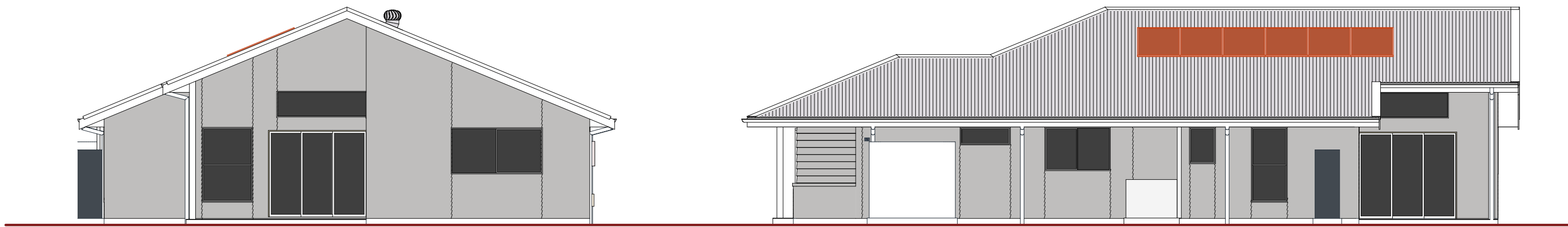
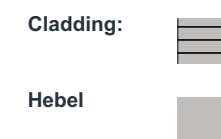
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WARNING
NOTE: -THIS PAGE MUST BE PRINTED IN COLOUR



Finishes Legend

External Scheme - ###



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WARNING
NOTE: -THIS PAGE MUST BE PRINTED IN COLOUR

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Allam Lifestyle Communities
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CEDARWOOD-7 DG
Classic

Site Address
Allam Homes Pty Ltd
Lot ### Street Name
Suburb (Estate) NSW

SITE INSTRUCTIONS

GENERAL:

HOUSE:

Colour Perspectives

0	01.09.20
---	----------

0	01.07.20
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Revision/Date/Version

G. 31.05.2022.V22

Serial

1CD71010 00

500
Last Amended
CAE

Job No

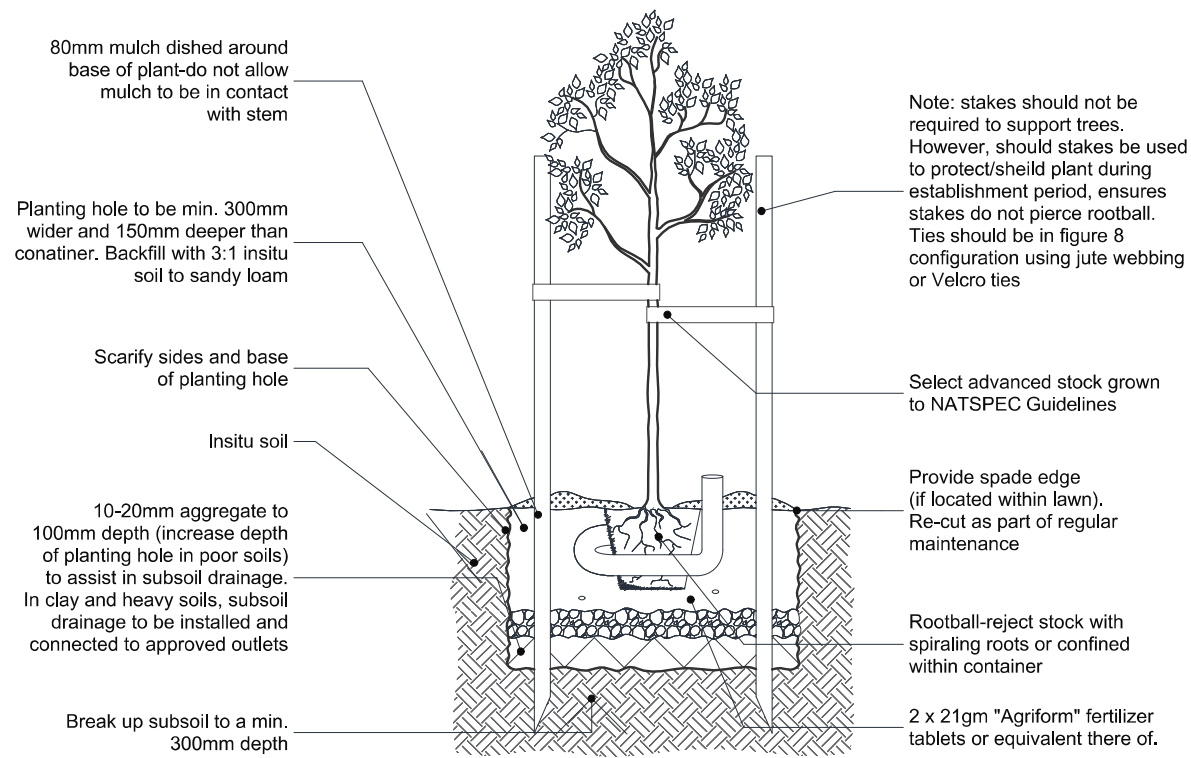
Job No.

Scale
REFER TO
DETAIL

Sheet

25





TREE PLANTING FOR ADVANCED STOCK

LANDSCAPE SPECIFICATIONS

TURF AREA:

- Turf Underlay: 100mm thick layer of screened top soil
- Turf: Kikuyu turf

GARDEN AREA:

- Soil: 300mm thick layer of premium garden mix
- Mulch: 75mm thick layer of 10mm pine bark mulch
- Plants per site average:
 - 2 x 25L pot size trees
 - 20 x 300mm pot size plants
 - 20 x 200mm pot size plants
 - 15 x 140mm pot size plants

Trees to be staked as required; all stakes shall be durable hardwood sharpened to a point at one end and free from knots and twists;.

15 Litre to 35 Litre: 25 x 25 x 1500mm, 2 stakes per plant.

45 Litre to 100 Litre: 38 x 38 x 1800mm, 2 stakes per plant

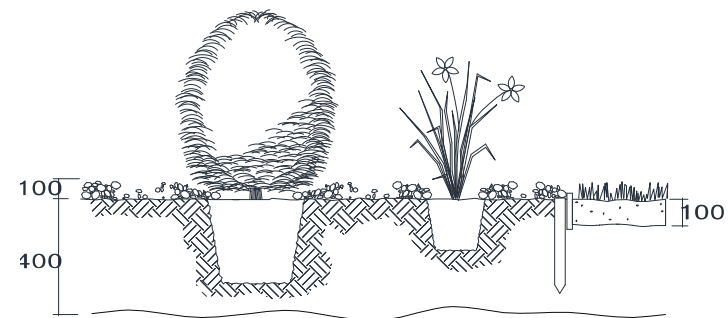
Ties shall be 50mm wide hessian webbing.

BRICK

- EDGE:
 - 50mm thick charcoal Havenbrick on sand and cement mix

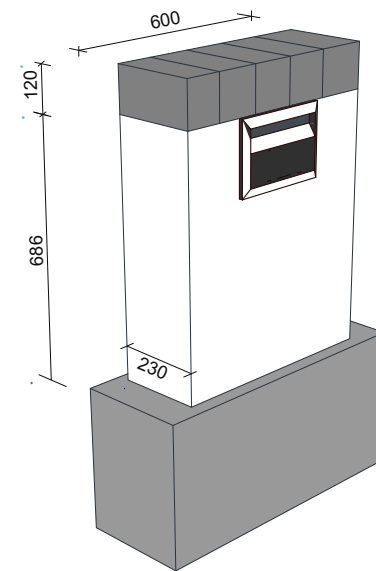
PEBBLE

- AREA:
 - Pebble underlay : 100mm – 200mm thick layer of consolidated road base
 - Pebble : 75mm thick layer of 20mm Nepean river pebble

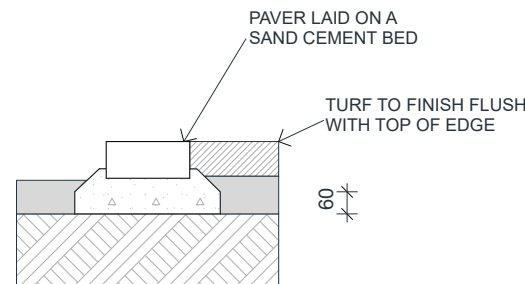


1. Excavate beds to 400mm
2. Backfill bed with excavated soil mixed with an improved soil mixed with an improved garden loam.

PLANTED BEDS

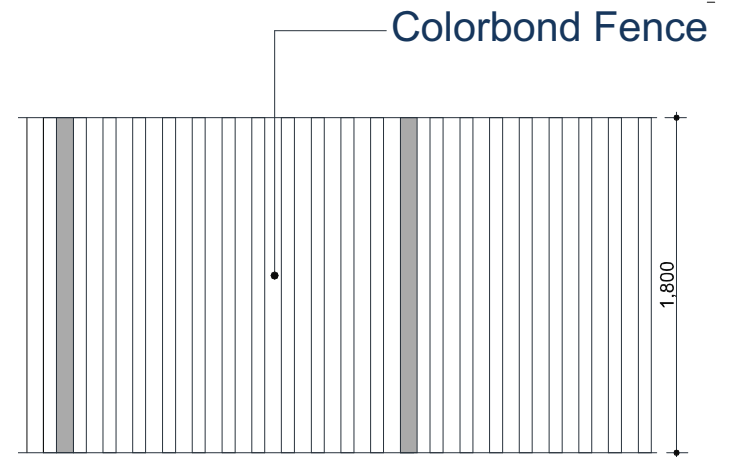


BLADE LETTER BOX



GARDEN EDGE DETAIL

NTS



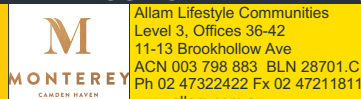
NOTE: Gates to be made from same materials as fence. All fixings to be galvanised, trip latches fitted

FENCE - TYPE B

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CEDARWOOD-7 DG
Classic

Site Address
Allam Homes Pty Ltd
Lot ### Street Name
Suburb (Estate) NSW

SITE INSTRUCTIONS
GENERAL:
HOUSE:

Landscape Details

0 01.09.20
0 01.07.20

Revision/Date/Version
G. 31.05.2022.V22

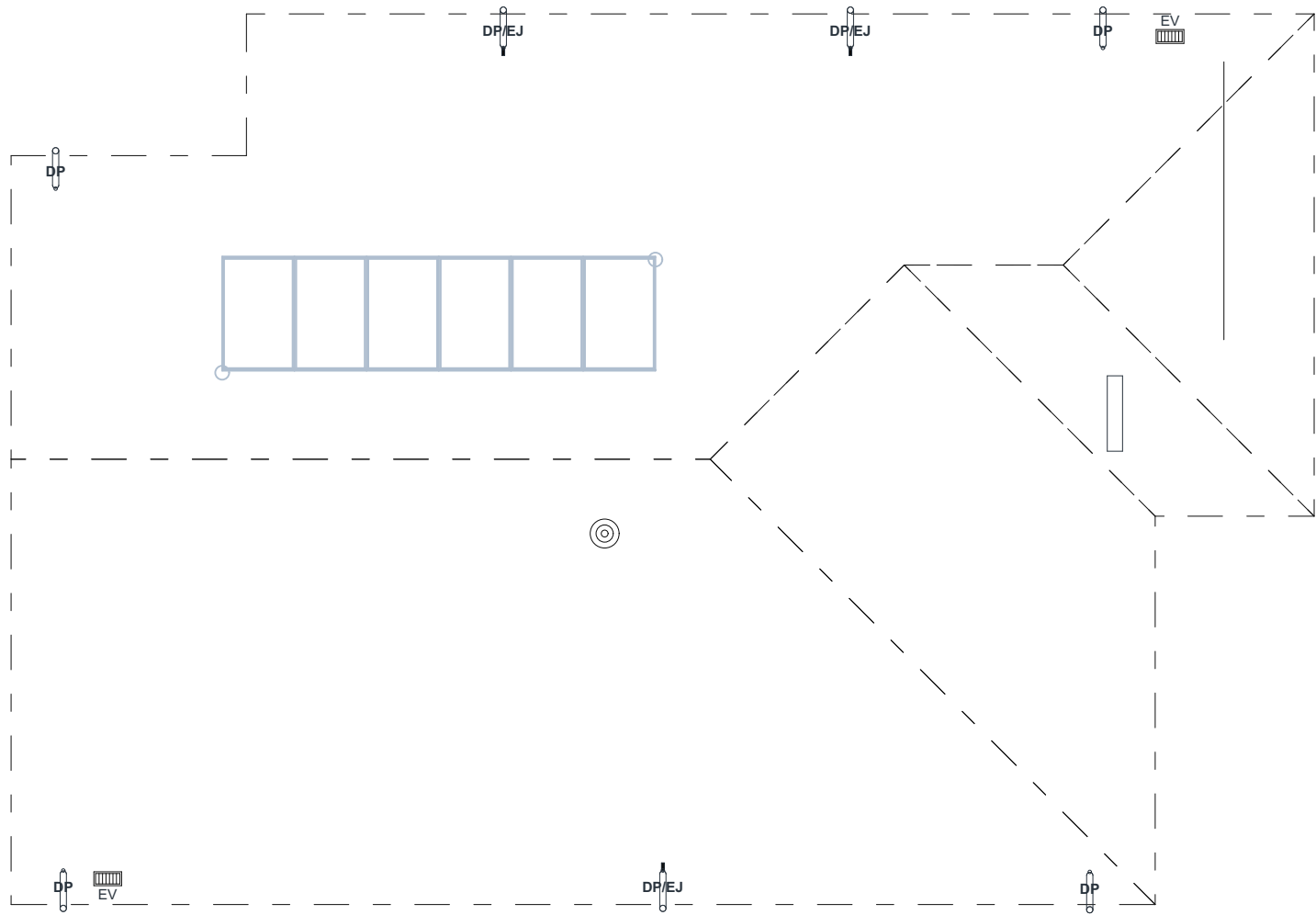
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Last Amended
CAE
Job No.
Job No.

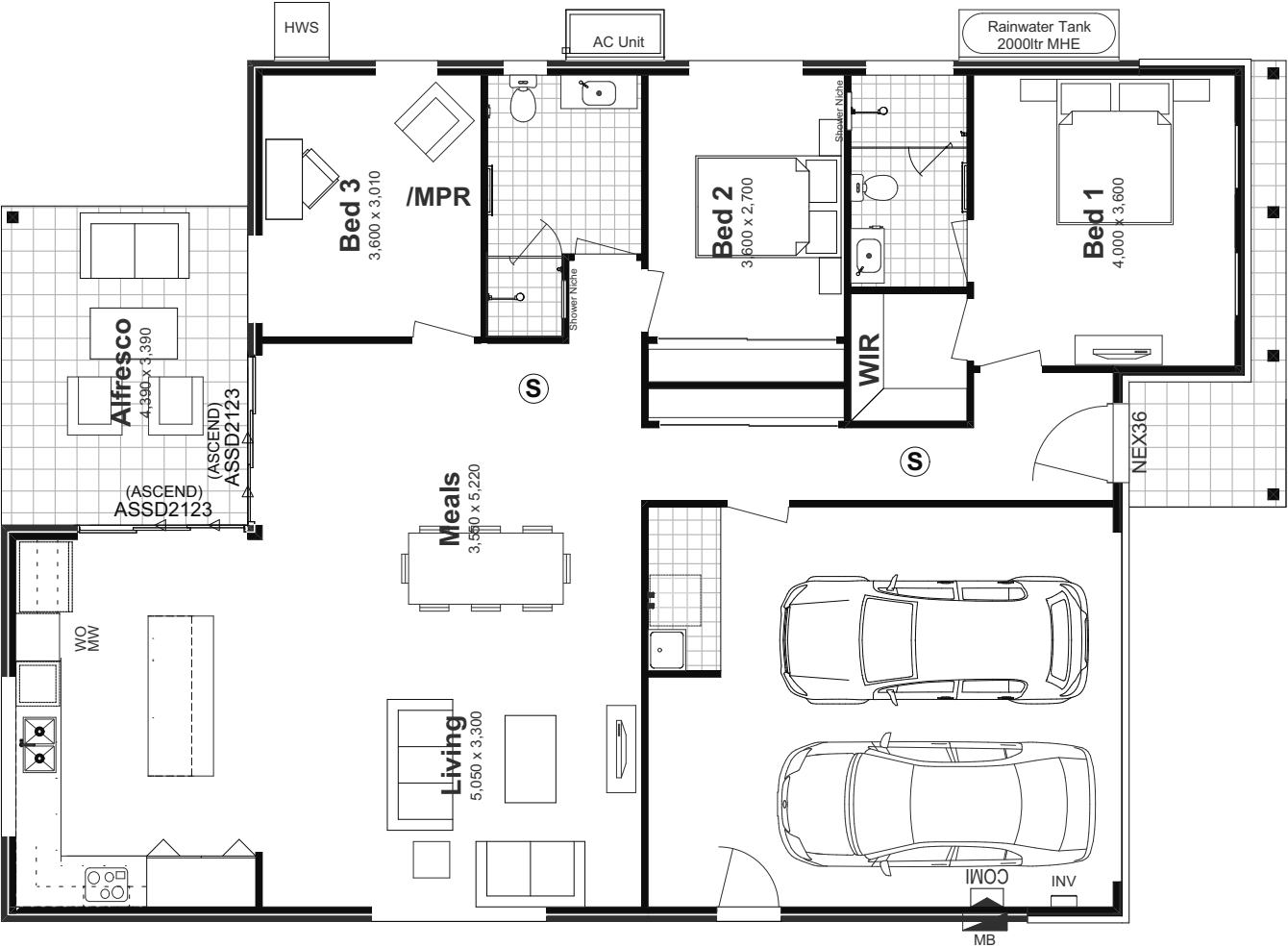
Scale
REFER TO
DETAIL
Sheet
27



PV LAYOUT	
SYSTEM SIZE	2.34kW
PANELS	(6) 390 W Panel (1754 x 1096 x 30)

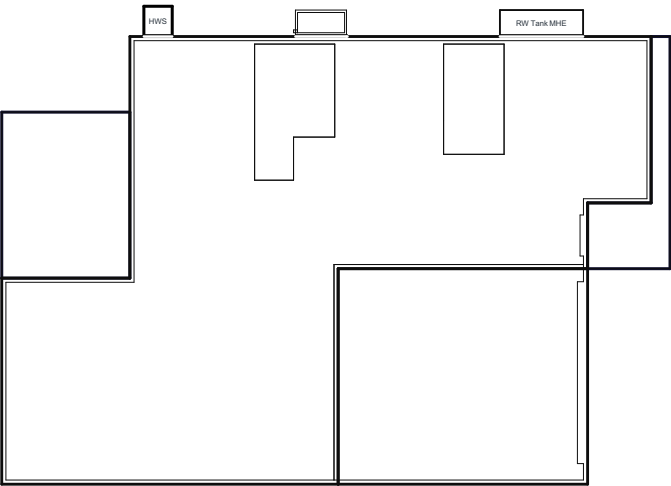


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